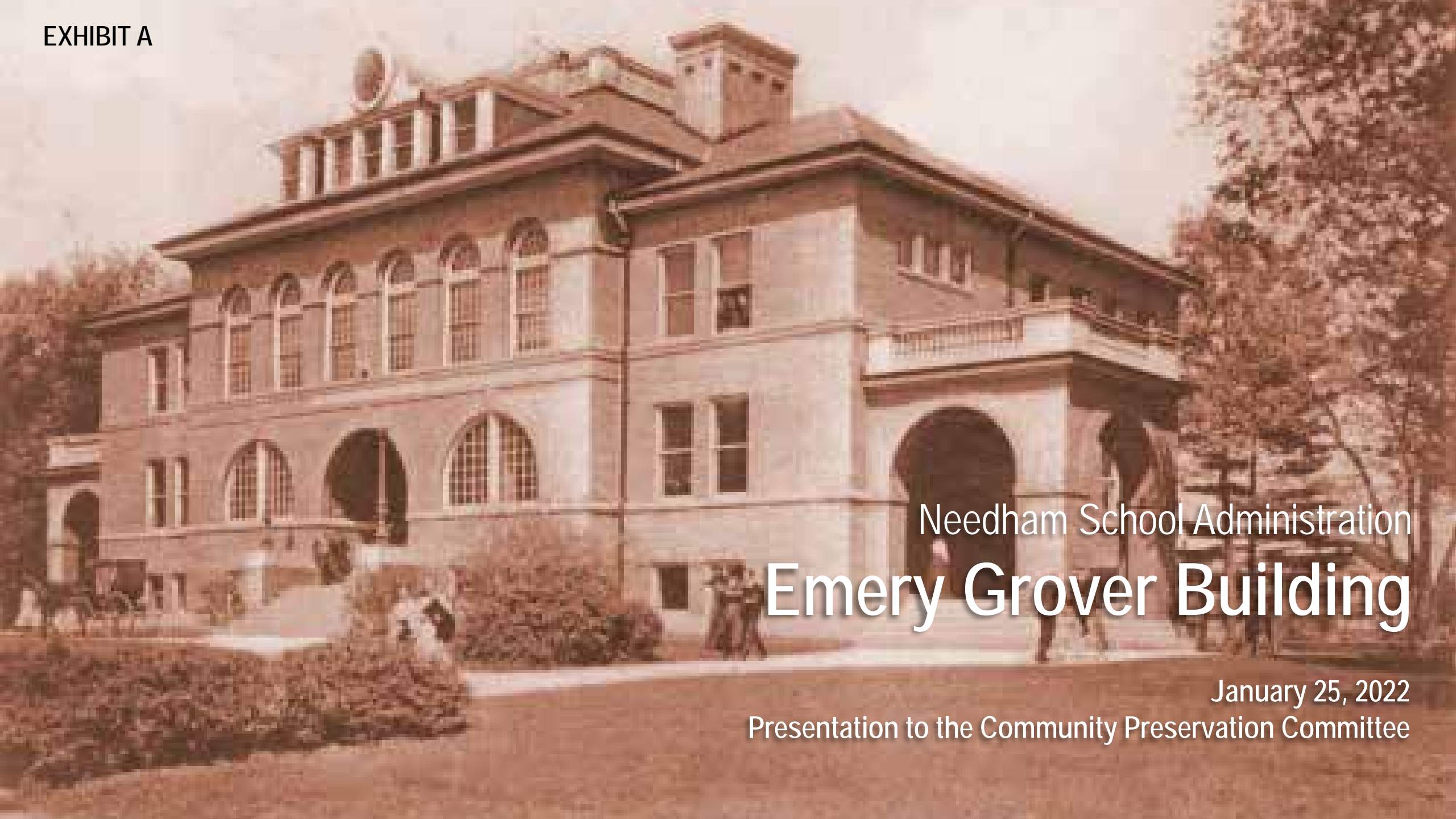


EXHIBIT A



Needham School Administration

Emery Grover Building

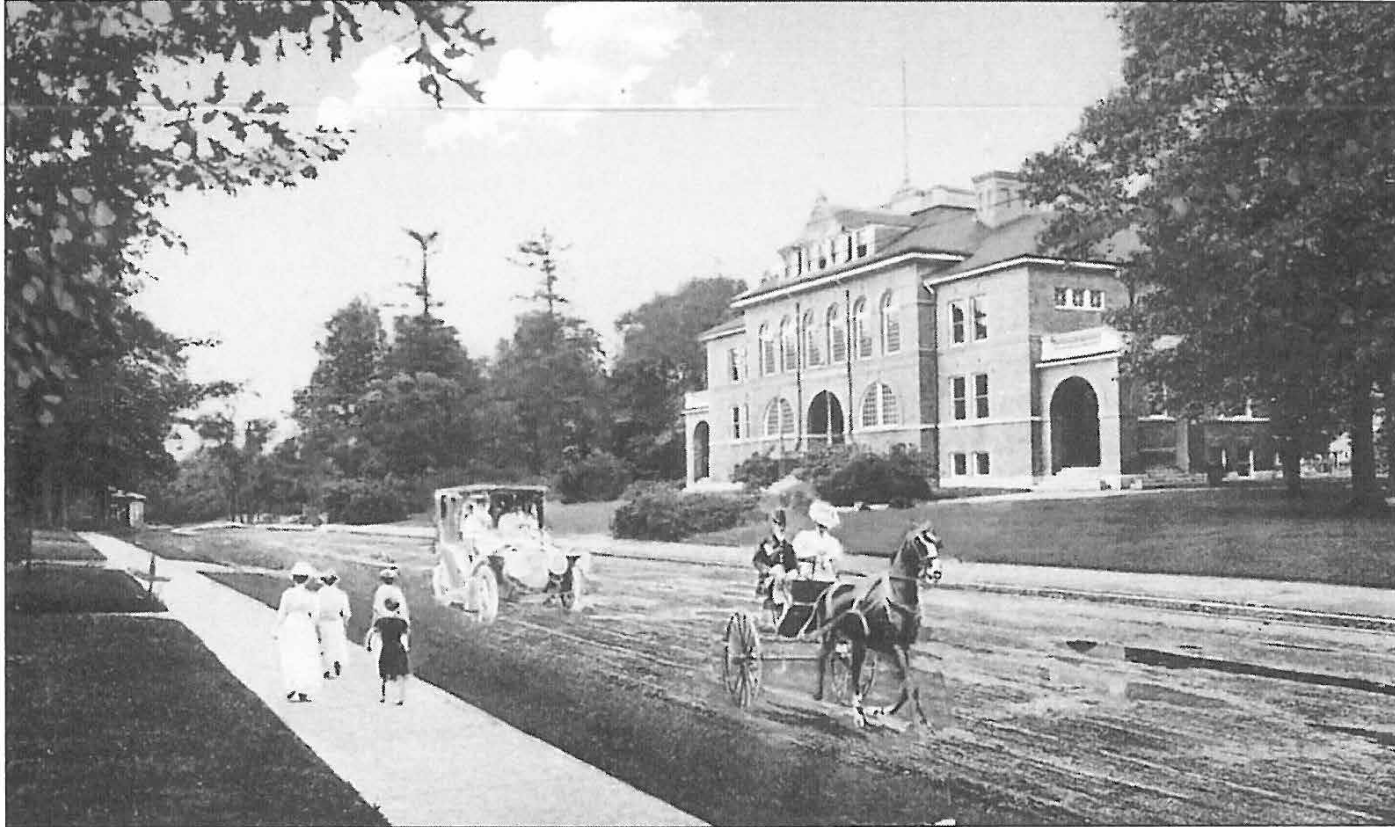
January 25, 2022

Presentation to the Community Preservation Committee



1330 Highland Ave

HISTORIC GATEWAY BUILDING ON HIGHLAND AVE



Built in 1898, this was the town's first high school and only example of the Renaissance Revival style. It was built halfway between the two sections of town on a site donated by knitting company owner John Moseley. Named for Judge Emery Grover, a twenty-two-year member of the school committee, the building has been the office of the school administration since 1930



View from Highland Ave, from early 1900's (Needham Historic Society) and today

United States Department of the Interior
National Park Service

JUL 24 1987

**National Register of Historic Places
Registration Form**

NATIONAL
REGISTER

This form is for use in nominating or requesting determinations of eligibility for individual properties or districts. See instructions in Guidelines for Completing National Register Forms (National Register Bulletin 16). Complete each item by marking "x" in the appropriate box or by entering the requested information. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, styles, materials, and areas of significance, enter only the categories and subcategories listed in the instructions. For additional space use continuation sheets (Form 10-900a). Type all entries.

1. Name of Property

historic name Emery Grover Building (preferred)
other names/site number Needham High School

2. Location

street & number 1330 Highland Avenue N/A not for publication
city, town Needham N/A vicinity
state Massachusetts code 025 county Norfolk code 021 zip code 02192

3. Classification

Ownership of Property	Category of Property	Number of Resources within Property	
<input type="checkbox"/> private	<input checked="" type="checkbox"/> building(s)	Contributing	Noncontributing
<input checked="" type="checkbox"/> public-local	<input type="checkbox"/> district	<u>1</u>	<u> </u>
<input type="checkbox"/> public-State	<input type="checkbox"/> site	<u> </u>	<u> </u>
<input type="checkbox"/> public-Federal	<input type="checkbox"/> structure	<u> </u>	<u> </u>
	<input type="checkbox"/> object	<u>1</u>	<u> </u>
			Total
			<u>1</u>

Name of related multiple property listing: N/A
Number of contributing resources previously listed in the National Register 0

4. State/Federal Agency Certification

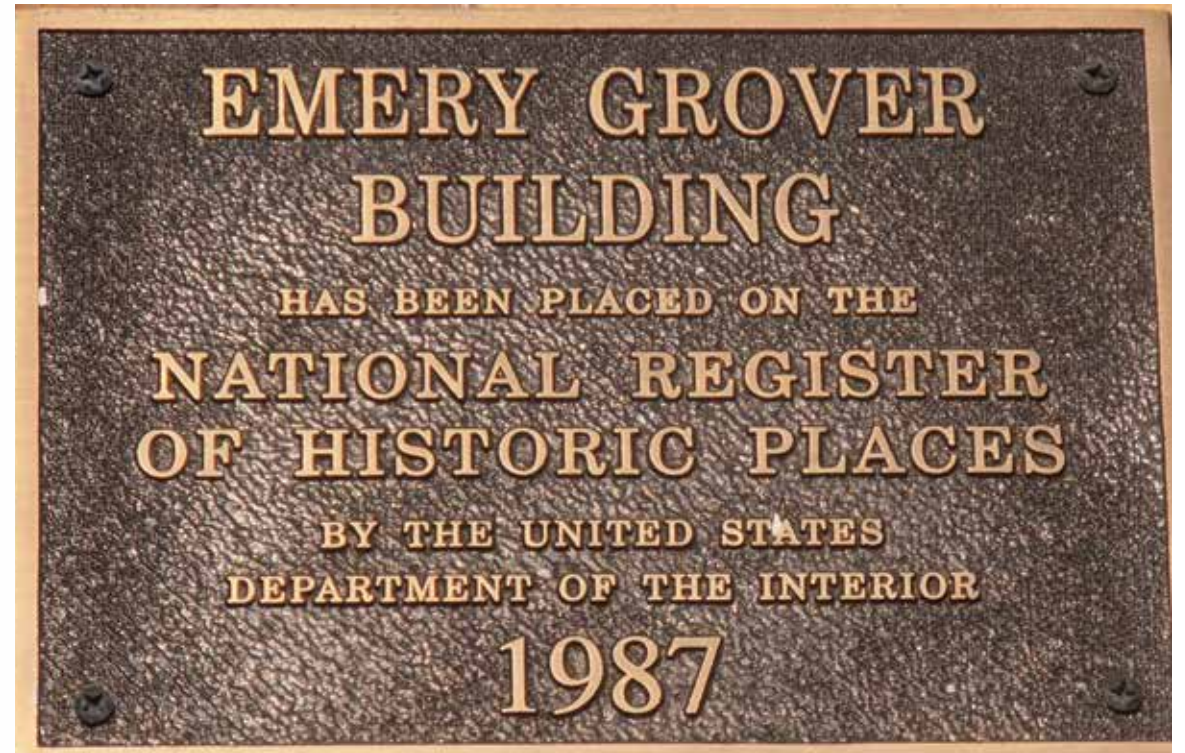
As the designated authority under the National Historic Preservation Act of 1966, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. See continuation sheet.
Valerie A. Talmage
Signature of certifying official Executive Director, State Historic Preservation Office, July 20, 1987
Massachusetts Historical Commission
State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. See continuation sheet.
Signature of commenting or other official _____ Date _____
State or Federal agency and bureau _____

5. National Park Service Certification

I, hereby, certify that this property is:
 entered in the National Register. Entered in the National Register 8/20/87
 See continuation sheet.
 determined eligible for the National Register. See continuation sheet.
 determined not eligible for the National Register.
 removed from the National Register.
 other, (explain:)
Signature of the Keeper _____ Date of Action _____

NATIONAL REGISTER BUILDING



HIGHLAND AVE SCHOOL AND EMERY GROVE BUILDINGS



With rapid population growth in Needham after World War I, the 1898 high school building proved inadequate. The town needed a modern facility with a gym and science rooms. The Highland Avenue School was located next to the old high school. This new building also became inadequate for a high school; it served as a junior high and finally an elementary school

- Built in 1924 to adjacent to EG as "new" High School
- Sold and demolished in 1984 for Condominiums



EMERY GROVER ADMINISTRATION BUILDING

- Converted to School Administration in 1947
- Preservation needed

HISTORIC SIGNIFICANCE OF THE EMERY GROVE BUILDING

Constructed in 1897 as a High School

- Designed by Whitman & Hood
- GC was F. G. Colburn
- Served as the Town's High School until 1923
- A Junior HS from 1923 to 1929
- Elementary School 1929-1944

The oldest Public Building in Needham

- Second Renaissance Revival Style
- Location was chosen between the Heights and Needham Center
- Housed School Administration from 1947 to present
- 8/20/1987 – listed in the National Register of Historic Places

NOTABLE NEEDHAMITES

Named after: Judge Emery Grover



In a 50th wedding anniversary picture in 1918 are Judge Emery Grover and his wife, the former Lydia Orr, daughter of Needham manufacturer Galen Orr. The present Needham Public Schools administration building, which was the former high school (1898), now bears Emery Grover's name, honoring this prominent judge and local official who also served as selectman and school committee member.

Land donated by: William Moseley



An important manufacturer of silk and elastic stockings, knit surgical bandages, and underwear was William G. Moseley, who also served as town moderator for twenty-eight town meetings from 1899 to 1911. An incorporator of the Needham Cooperative Bank in 1902, Moseley was admitted to the Massachusetts Bar in 1907 and served as town auditor, selectman, and school committee member.

WHY CPA FUNDS ARE APPROPRIATE FOR THIS PROJECT

- Last major historic public building needing renovation
- EG is highest Historic Commission preservation priority
- Preservation of Gateway Building into downtown
- Cost effective path to preservation – equal to demolition and new building for current use
- Best chance for preservation is Town renovation and reuse
- Demolition likely if property is sold to a developer




WHY CPA FUNDS ARE APPROPRIATE FOR THIS PROJECT

- Urgent need due to decades of deferred maintenance while waiting for this plan
- ADA/MAAB accessibility to a major public building
- Life safety upgrades required
- Code required thresholds for roof and window projects will trigger a comprehensive renovation to meet current energy, seismic, egress, fire safety, mechanical, electrical and plumbing requirements.

COMMUNITY PRESERVATION ACT

Part C Historic Preservation Factors for Consideration:

Factors for consideration by the Committee toward approval of funding through the Community Preservation Act.

-  • Preserves and protects historic and cultural properties and sites to the extent allowed under the CPA.
-  • Demonstrates a public benefit to preserve historic resources. Town-owned facilities may be preferred in The Committee's evaluation process.
-  • Incorporates the remodeling, reconstruction, renovation and making of extraordinary repairs to historic resources, such as improvements intended to make historic facilities functional for their intended use, including but not limited to, handicapped accessibility and building code requirements.

Emery Grover is included in the Town of Needham Community Preservation Plan

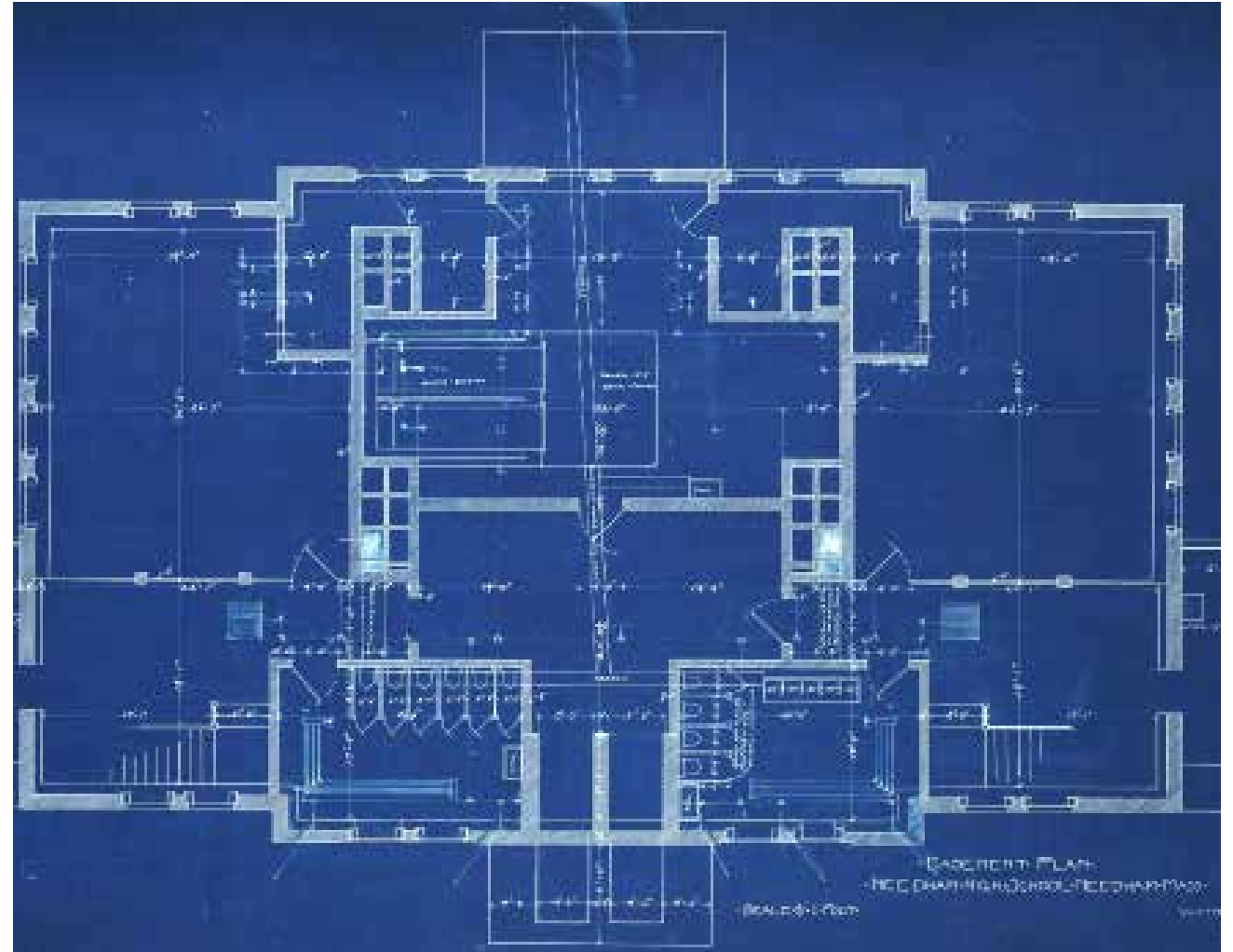
EXISTING CONDITIONS

BASEMENT LEVEL

"The basement contains the hearing and ventilating apparatus, manual training room, bicycle & janitor's rooms and sanitariums"

(Needham Chronicle 8/21/1898)

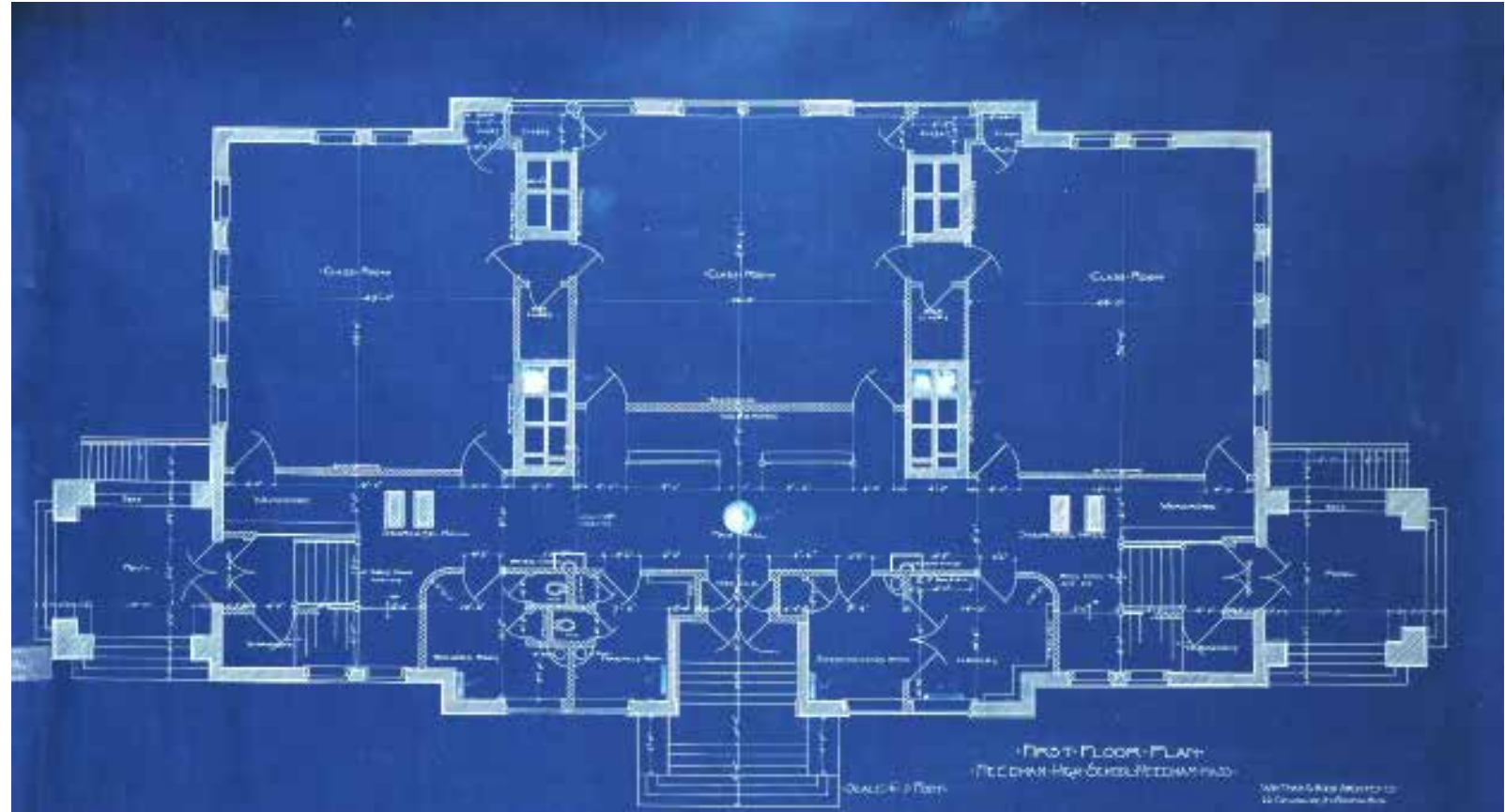
Coal fired furnace and ventilation shafts at center of the plan



FIRST FLOOR

"On the first floor the main corridor runs from end to end with wardrobes. On the sides are three classrooms, superintendent's, committee's, teachers and principal's room."

(Needham Chronicle 8/21/1898)

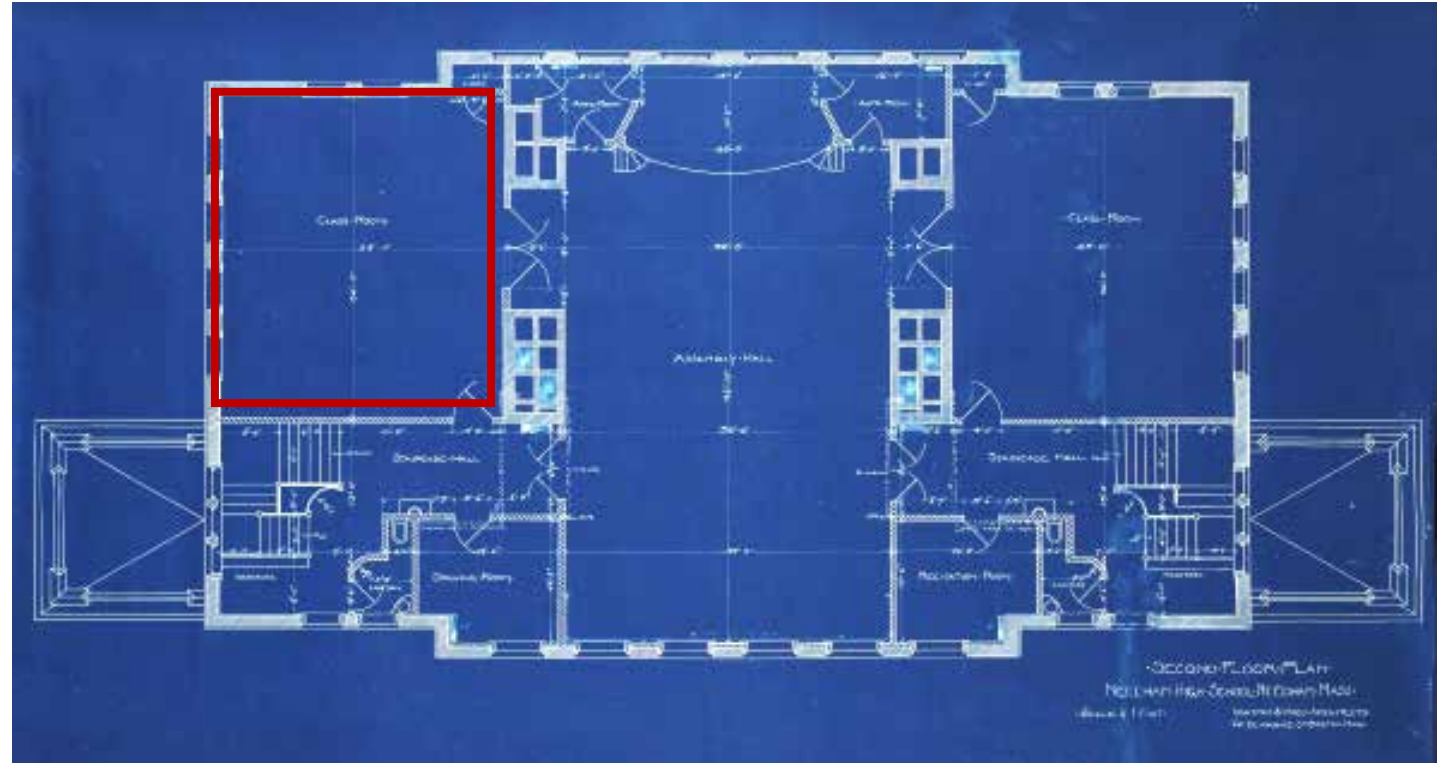


SECOND FLOOR

"On the second floor there are two classrooms, a recitation room, and an assembly hall with 14-ft studs, seating 275. A room here will be used for a library room."

(Needham Chronicle 8/21/1898)

- The left side room is still a conference room today
- All the other spaces have been subdivided for School Administration offices.

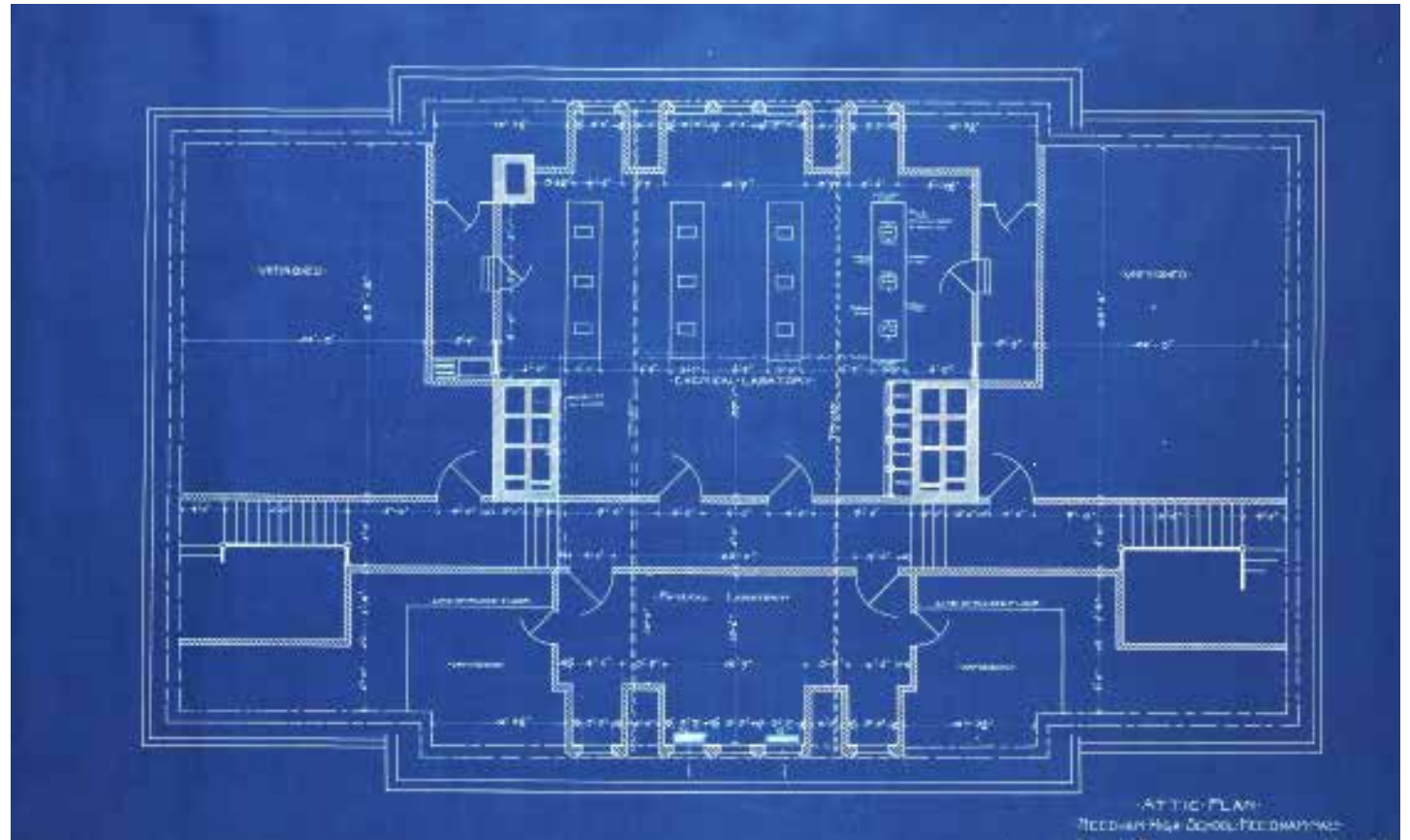


THIRD FLOOR - ATTIC

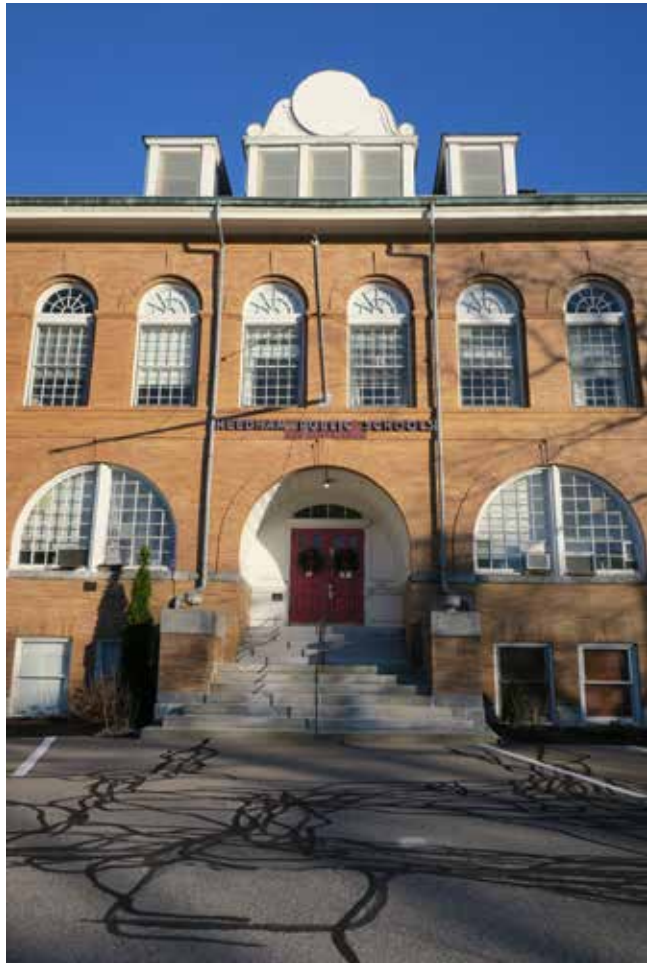
"The third floor is for the laboratories, contains two dark rooms."

(Needham Chronicle 8/21/1898)

- The third floor has been condemned since 1935 and only usable for limited storage



EXTERIOR



INTERIOR



SITE



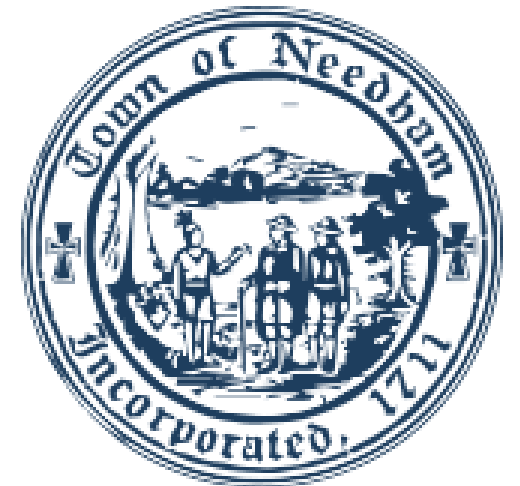
SCOPE OF WORK

The project consists of a comprehensive renovation of this National Register building. The building exterior will be rehabilitated, preserving original materials, replacing those that are beyond repair, and providing an accessible main entrance. A small rear addition will provide a needed materials entry. The interior spaces will be reconfigured to accommodate the Needham Public Schools Administration offices, upgrade systems and structure, and make the building fully code compliant. Site work will include parking, lighting and drainage.

PROJECT OVERVIEW

Improvements Incorporated into the Emery Grover Renovation:

- Having a use for the building will allow it to be retained.
- Renovation can be accomplished without a large addition.
- The currently inaccessible building will be made accessible.
- HVAC equipment will be located mostly inside the building.
- The project will add code-compliant interior stairs.
- The front of the building will be free of parking.
- Energy efficiency will be increased with new windows and roof insulation.



URGENT MAJOR REPAIRS

- All M.E.P/FP Systems are non-functioning and outdated
- Original slate roof leaks requires rain barrel on 3rd floor



- Temporary steel braces added to South Portico to stop collapse.
- No handicapped access
- All windows require replacement
- Seismic reinforcing necessary
- No Fire Sprinklers

URGENT MAJOR REPAIRS

- Stairs are supported by tie rods to prevent further sagging.
- Improper ventilation.



SITE

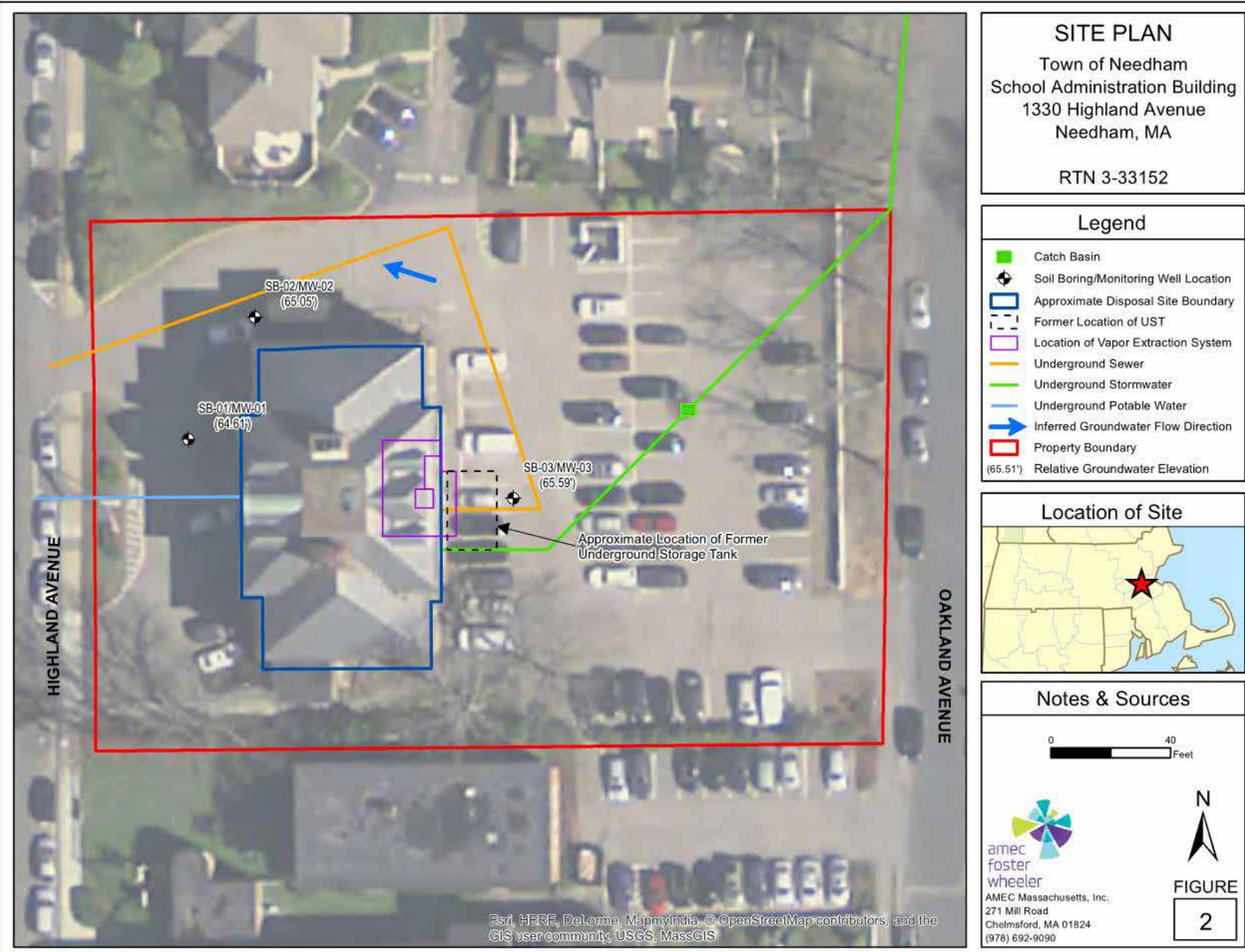
- Through-drive to parking at east is to remain
- Ramp from parking to north portico entry
- Center entry closed off
- South portico for emergency egress
- Accessible sidewalk from street to entry, if grades allow
- Reintroduce grass at front
- 55 Parking spaces

LEGEND

	LOW AND SEED, TYP.
	SHRUBS/PERENNIALS
	DECIDUOUS TREE (3" CALIPER), TYP.
	EMERGREEN TREE (8' HT.), TYP.
	POLE MOUNTED LIGHT FIXTURE, TYP.
	PEDESTRIAN LIGHT FIXTURE, TYP.

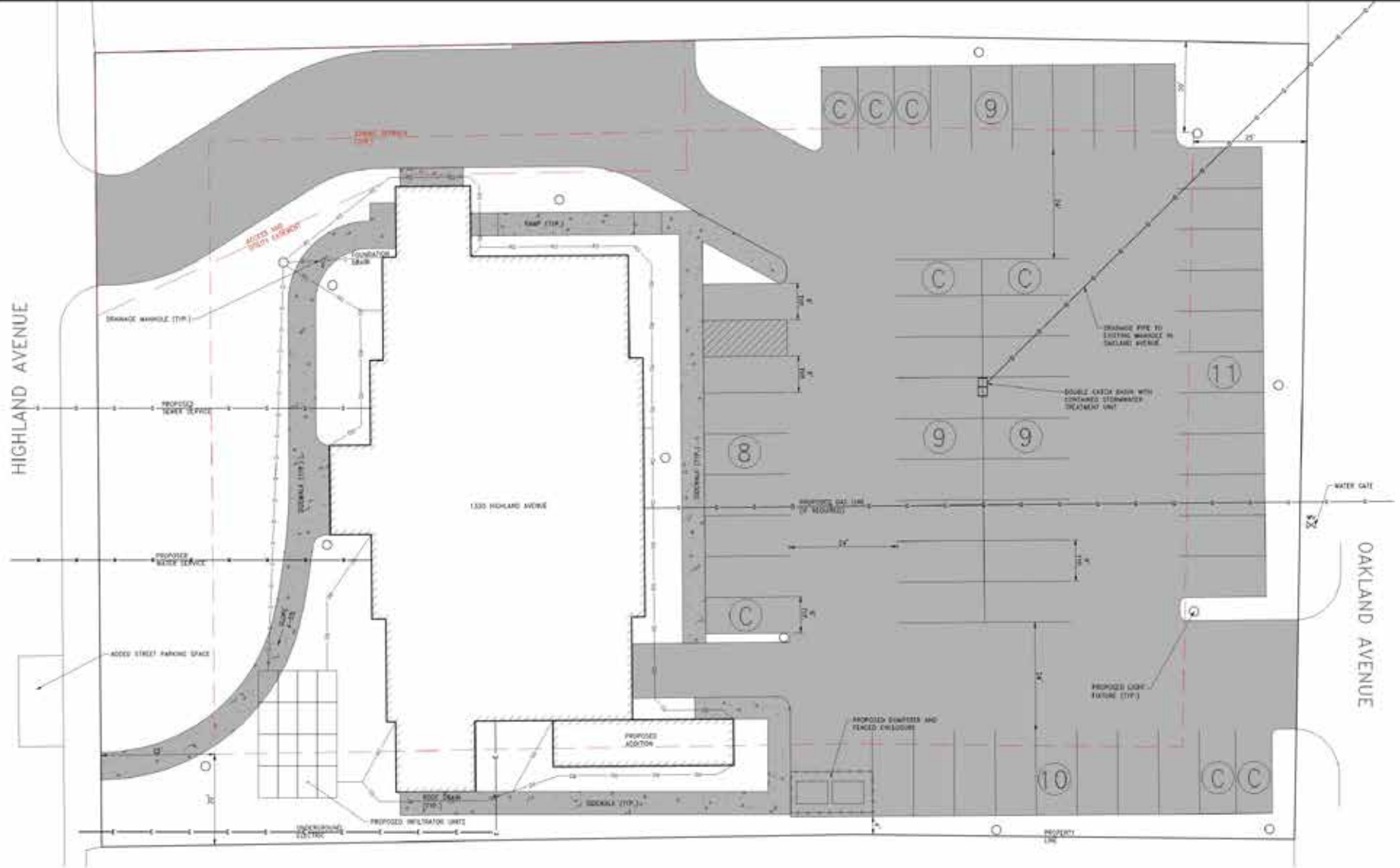


EXISTING UTILITIES





UTILITIES



Parking Table	Required	Proposed
TOTAL SPACES	81*	76
SPACES AVAILABLE	0	0
NET COMPACT	28 (100%)	8 (100%)
PER HOUR DEMAND	102	102
PER HOUR DEMAND (TYP)	20	100*
PER HOUR DEMAND (TYP)	0	100*
PER HOUR DEMAND (TYP)	4	100*

* COMPACT SPACES ON PLAN SHOWN WITH SYMBOL (C)
 ** IF MAXIMUM ALLOWABLE COMPACT SPACES WERE LOCATED WITH THE SCHOOL, A TOTAL OF 3 SPACES COULD BE ADDED.
 *** SEE "REQUIRED PARKING" TABLE FOR PARKING REQUIREMENT CALCULATIONS.
 **** SEE "PEAK PARKING DEMAND AND OVERLAP CALCULATIONS" NOTE.
 ***** METERS ARE CURRENTLY SHOWN TO BE MET. LAYOUT SUBJECT TO CHANGE BASED ON OR AN ON THE GROUND INSTRUMENT SURVEY.

PROPOSED PARKING	PER HOUR DEMAND (TYP)	SPACES AVAILABLE	NET COMPACT	PER HOUR DEMAND (TYP)	PER HOUR DEMAND (TYP)
UPPER LEVEL	107	19.04	-	-	12.23
MID LEVEL	107	19.04	-	-	12.23
LOWER LEVEL	437	14.04	31	10.04	30.80
TOTAL	651	52.12	31	20.08	55.26

PARKING DEMAND WITH 100 CONFERENCE ATTENDEES AND OVERLAP CALCULATIONS:
 PEAK DEMAND = 81 REQUIRED = 21 (100 INDIVIDUAL CONFERENCE ATTENDEES) + 21 ASSEMBLY SPACES ACCOUNTED FOR IN MAIN CONFERENCE ROOM @ 1:1 RATIO) + 39 SPACES PEAK DEMAND
 POTENTIALLY AVAILABLE PARKING = 58 SPACES ON SITE + 37 5-HOUR SPACES ON OAKLAND AVE. + 41 5-HOUR SPACES ON HIGHLAND AVE. (INCLUDING 3 ADDED SPACES) + 19 SPACES AT ABUTTING CHURCH = 155 POTENTIALLY AVAILABLE SPACES

NOTES:
 1 SPACE REQUIRED PER 300 SF OF OFFICE SPACE
 1 SPACE REQUIRED PER 5 SEATS OF CONFERENCE SPACE



EMERY GROVER RENOVATION
NEEDHAM, MA

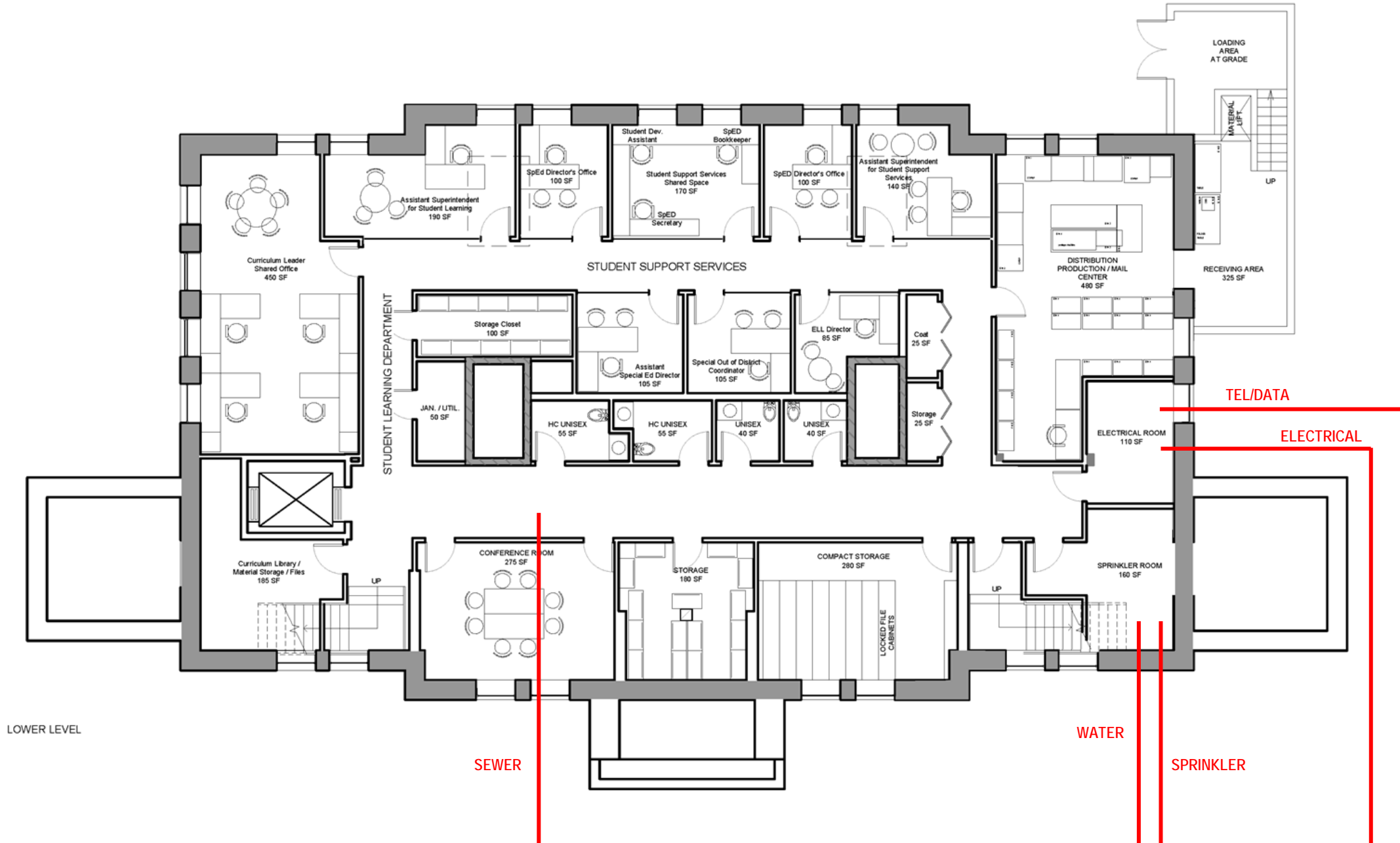
REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO: 27846
 DATE: 9/20/2023
 SCALE: 1/8"=1'-0"
 DESIGNED BY: SL
 CHECKED BY: AJ
 DRAWN BY: BK
 APPROVED BY: AJ
 DRAWING TITLE: DESIGN SKETCH

DRAWING NO: DS1.0
 SHEET NO: 1 OF 2

UTILITIES



LOWER LEVEL

PARKING



PARKING TABLE	REQUIRED	PROPOSED
TOTAL SPACES	84	88
TOTAL PROPOSED	0	0
WALK COMPACT	18 (14%)	8 (14%)
PEAK DEMAND	100	100
PROFIT SPACING	23	23.4
SPACE PER WORK	8	8.4
PER HOUR	6	6.4

① COMPACT SPACES ON PLAN SHOWN WITH SYMBOL ①
 ** IF MAXIMUM ALLOWABLE COMPACT SPACES WERE INCLUDED INTO THE DESIGN, A TOTAL OF 2 SPACES COULD BE ADDED.
 * SEE "REQUIRED PARKING" TABLE FOR PARKING REQUIREMENT CALCULATIONS.
 ** SEE "PEAK PARKING DEMAND AND OVERFLOW CALCULATIONS" NOTE.
 * MICRACKS ARE CURRENTLY SHOWN TO BE WET LAYOUT SUBJECT TO CHANGE DEPENDENT ON AN IN-GROUND INSTRUMENT SURVEY.

REQUIRED	DESIGN TABLE	SPACES	ADDITIONAL	SPACES	TOTAL REQUIRED
(MINIMUM)	(MINIMUM)	(MINIMUM)	(MINIMUM)	(MINIMUM)	(MINIMUM)
CONFERENCE	88	18.88	-	-	18.88
OFFICE	187	18.70	-	-	18.70
MEETING	187	18.70	17	17	35.70
ATTN. LEVEL	400	14.33	-	-	14.33
TOTAL	847	88.28	17	17	88.28

NOTE:
 1 SPACE REQUIRED PER 300 SF OF OFFICE SPACE
 * SPACE REQUIRED PER 3 SEATS OF CONFERENCE SPACE
 PARKING DEMAND WITH 100 CONFERENCE ATTENDEES AND OVERFLOW CALCULATIONS:
 PEAK DEMAND = 84 REQUIRED + 21 (100 INDIVIDUAL CONFERENCE ATTENDEES - 37 ASSIGNED SPACES ACCOUNTED FOR IN MAIN CONFERENCE ROOM x 1.0 RATED @ 100 SPACES PER DEMAND)
 POTENTIALLY AVAILABLE PARKING = 56 SPACES ON SITE + 37 2-HOUR SPACES ON HIGHLAND AVE. + 43 2-HOUR SPACES ON HIGHLAND AVE. (INCLUDING 1 ADDED SPACE)
 * 18 SPACES AT ADJUTING CHURCH = 155 POTENTIALLY AVAILABLE SPACES





SCALE: AS SHOWN ON DRAWING

EMERY GROVER RENOVATION

NEEDHAM, MA

REVISION	DATE	BY	DESCRIPTION

PROJECT NO.	01468
DATE	9/20/2023
SCALE	1/8" = 1'-0"
DESIGNED BY	JL
CHECKED BY	JL
DRAWN BY	BL
APPROVED BY	JL
DRAWING TITLE	DESIGN SKETCH (WITH RENDER)
DRAWING NO.	DS1.1
SHEET NO.	1 OF 2



PARKING

PARKING TABLE	REQUIRED	PROPOSED
TOTAL SPACES	81*	56
TOTAL HANDICAP	2	2
MAX COMPACT^	28 (50%)	8 (14%)^^
PEAK DEMAND**	102	136
FRONT SETBACK (FEET)	20	133.4
BUILDING SETBACK (FEET)	5	5***
SIDE/REAR SETBACK (FEET)	4	4***

^ COMPACTS SPACES ON PLAN SHOW WITH SYMBOL (C)

^^ IF MAXIMUM ALLOWABLE COMPACT SPACES WERE INSERTED INTO THE DESIGN, A TOTAL OF 2 SPACES COULD BE ADDED.

* SEE "REQUIRED PARKING" TABLE FOR PARKING REQUIREMENT CALCULATIONS.

** SEE "PEAK PARKING DEMAND AND OVERFLOW CALCULATIONS" NOTE.

**SETBACKS ARE CURRENTLY SHOWN TO BE MET. LAYOUT SUBJECT TO CHANGE DEPENDENT ON AN ON THE GROUND INSTRUMENT SURVEY.

REQUIRED PARKING	SQUARE FEET OFFICE SPACE	SPACES (OFFICE)	ASSEMBLY SEATS	SPACES (ASSEMBLY)	TOTAL SPACES
LOWER LEVEL	5877	19.59	-	-	19.59
MAIN LEVEL	5877	19.59	-	-	19.59
UPPER LEVEL	4367	14.56	37	12.33	26.89
ATTIC LEVEL	4296	14.32	-	-	14.32
TOTAL	20417	68.06	37	12.33	81 (80.39)

NOTES:

1 SPACE REQUIRED PER 300 SF OF OFFICE SPACE

1 SPACE REQUIRED PER 3 SEATS OF CONFERENCE SPACE

PARKING DEMAND WITH 100 CONFERENCE ATTENDEES AND OVERFLOW CALCULATIONS:

PEAK DEMAND = 81 REQUIRED + 21 (100 INDIVIDUAL CONFERENCE ATTENDEES - 37 ASSEMBLY SPACES ACCOUNTED FOR IN MAIN CONFERENCE ROOM X 1:3 RATIO) = 102 SPACES PEAK DEMAND

POTENTIALLY AVAILABLE PARKING = 56 SPACES ON SITE + 37 3-HOUR SPACES ON OAKLAND AVE. + 43 2-HOUR SPACES ON HIGHLAND AVE. (INCLUDING 1 ADDED SPACE)

TOTAL AVAILABLE = 136

Table of Use Regulations

Per section 4.3.1

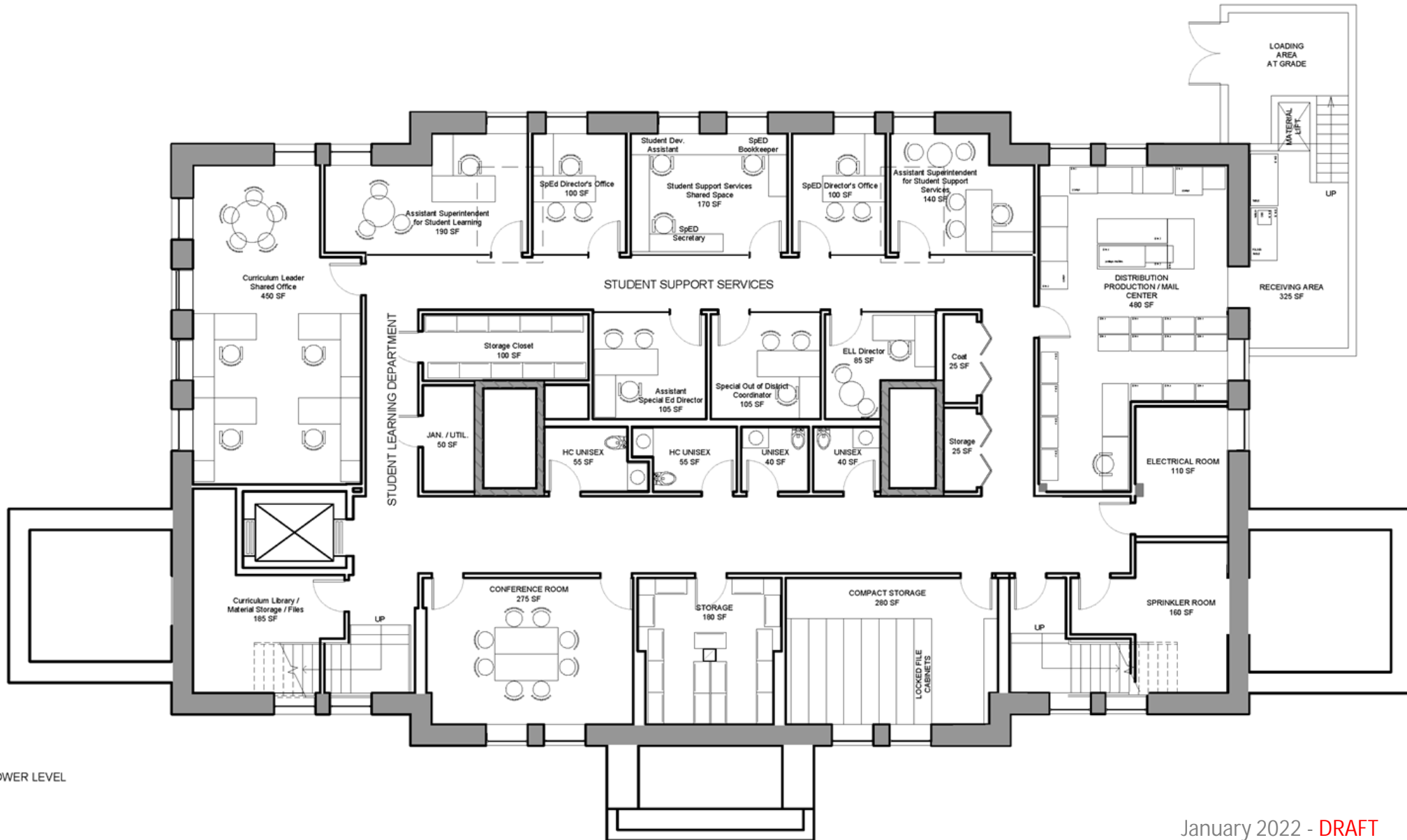
Major Project Special Permit Required

Regulation	A-1 Requirements	Existing	Provided	Compliance	Waivers Requested	Notes
Min. Lot Area	20,000 sf	46,174 sf	46,174 sf	Yes	NA	
Min. Frontage	120 ft	175ft	175 ft	yes	NA	
Front Setback (Highland Ave)	25 ft	60.75 ft	25 ft	yes	NA	
Side Setback	20 ft	11 ft	11 ft <i>existing non-conforming</i>	no existing non-conforming	Yes	Proposed Addition Setback 15 ft +/- more than existing setback of 11 ft +/-.
Rear Setback (Oakland Ave)	25 ft	143 ft	124 ft	yes	NA	
Max. Floor Area Ratio (FAR)	0.5	0.47	0.48	Yes	NA	
Max. % Lot Coverage	NR	14%	15%	yes	NA	
Max Stories	3	4	4 - existing non-conforming	no -existing non-conforming	Yes	Existing non-conforming
Max. Height	40 ft	57 ft	57 ft- existing non-conforming	no -existing non-conforming	Yes	Rooftop mech. allowed 25% of roof area
5.1 Parking requirements	A-1 Requirements	Existing	Provided	Compliance	Waivers Requested	Notes
5.1.2 (7) -Required Parking	81 Spaces Based on 1car/300sf (office space) & 1car/ 3 people Assembly	54	56 On-Site - others on street	no	Yes	Existing non-conforming & remote parking on street (Peak Demand will be 102 spaces when conference room has 100 attendees)
5.1.3 Parking Plan & Design Requirements						
(a) Parking Lot Illumination - to be designed to min of one Footcandle with cut off to abutters				yes	NA	TBC
(b) Loading Requirements			no requirement for A-1 identified	yes	NA	Dumpster located on plan.
(c) Handicapped Parking - compliant with MAAB and ADA				yes	NA	2 required handicapped spaces
(d) Driveway openings -			One on Highland and one on Oakland	yes	NA	Existing non-conformance to be changed
(e) Compact Cars -			Up to 50% allowed at 8ft x 16ft.	yes	NA	8 compact spaces
(f) parking Space size -			all spaces comply with 9ft x 18.5 ft size.	yes	NA	48 full size spaces
(g) Bumper overhang - no more than 1ft bumper overhang assumed.				yes	NA	TBC
(h) parking space layout - no backing or maneuvering in sidewalk of public ROW required.				yes	NA	TBC
(i) Width of Maneuvering Aisle - 90 ° 24ft to 25 ft wide			24 ft	yes	NA	25 ft. width indicated
(j) Parking Setbacks- Front	10 ft	30 ft	NA	yes	NA	All parking at rear of building
(j) Parking Setbacks- Side & Rear	4 ft	0 ft	4 ft min	yes	NA	Minimum 4'-6"
(k) Landscaped Areas	10% landscape		16,600 sf indicated on plan	no	Yes	parking removed from front of building 6 required/10 currently indicated around parking area
(l) Trees	1 tree / 10 spaces	5	5	yes	NA	
(m) Location	56 spaces on site		56 On-Site	no	Yes	Oakland Ave and Highland Ave On Street Parking
(n) Bicycle Racks	1 /20 pkg sp.		to be confirmed	yes	Yes	TBC

ZONING



GROUND FLOOR PLAN

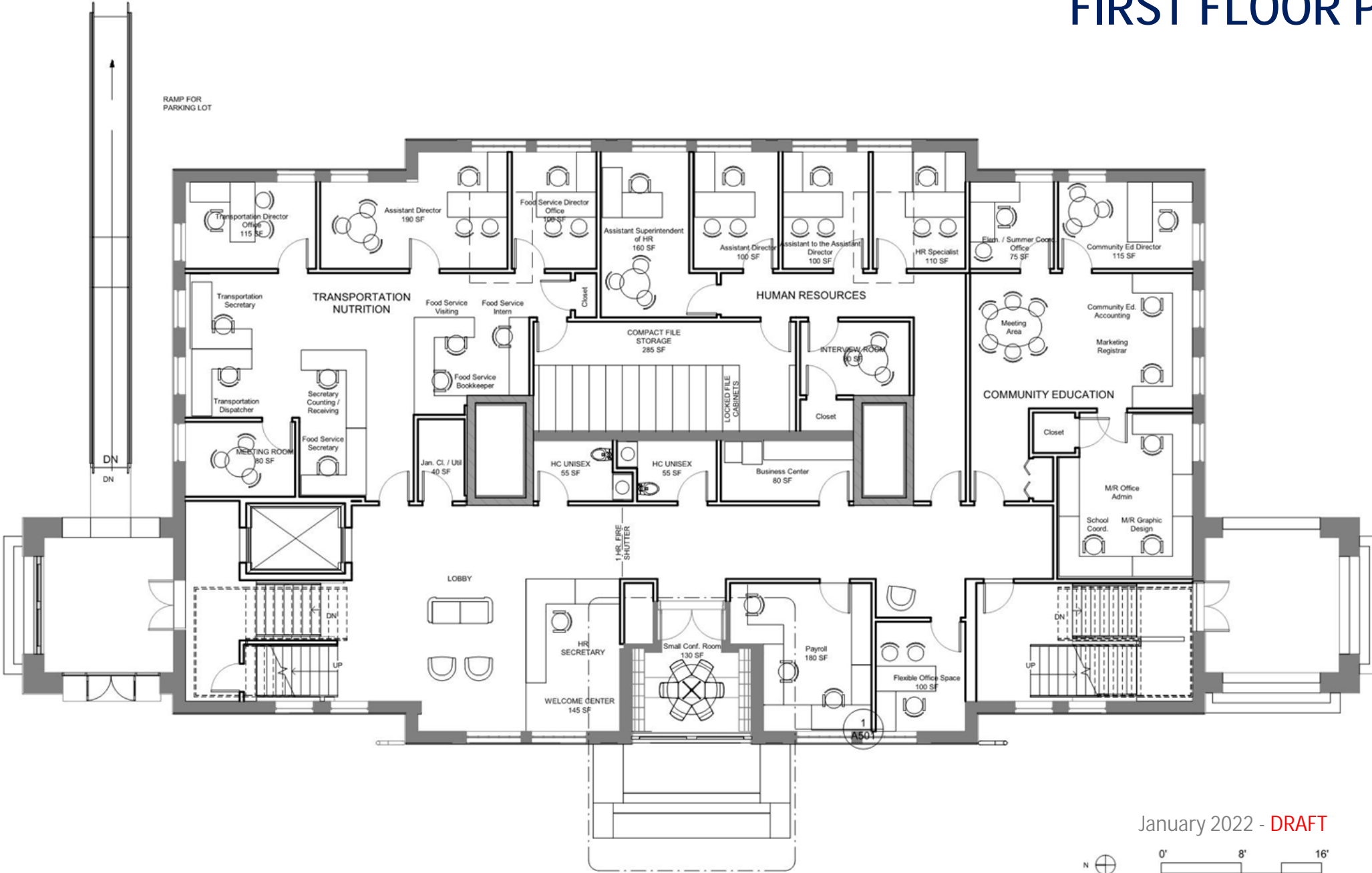


LOWER LEVEL

January 2022 - DRAFT



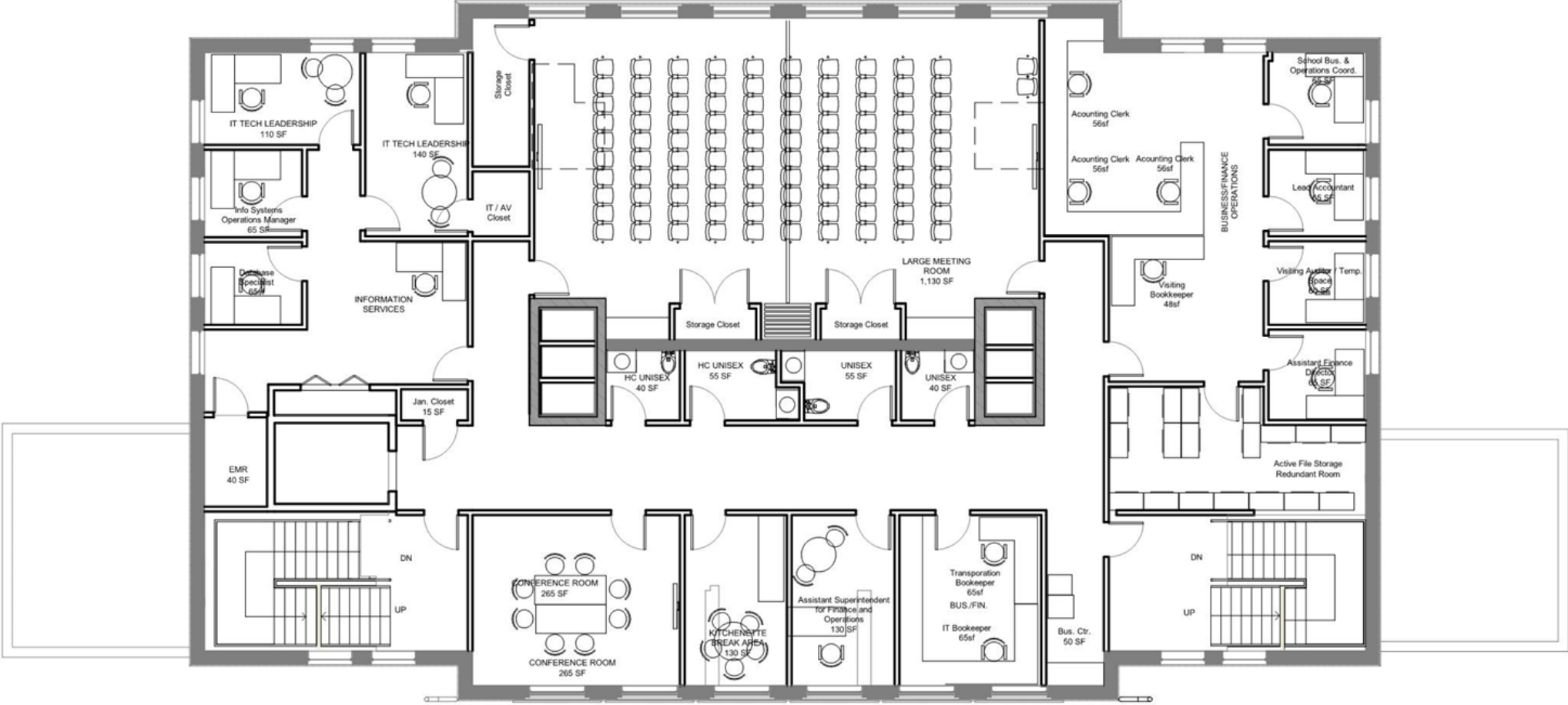
FIRST FLOOR PLAN



January 2022 - DRAFT



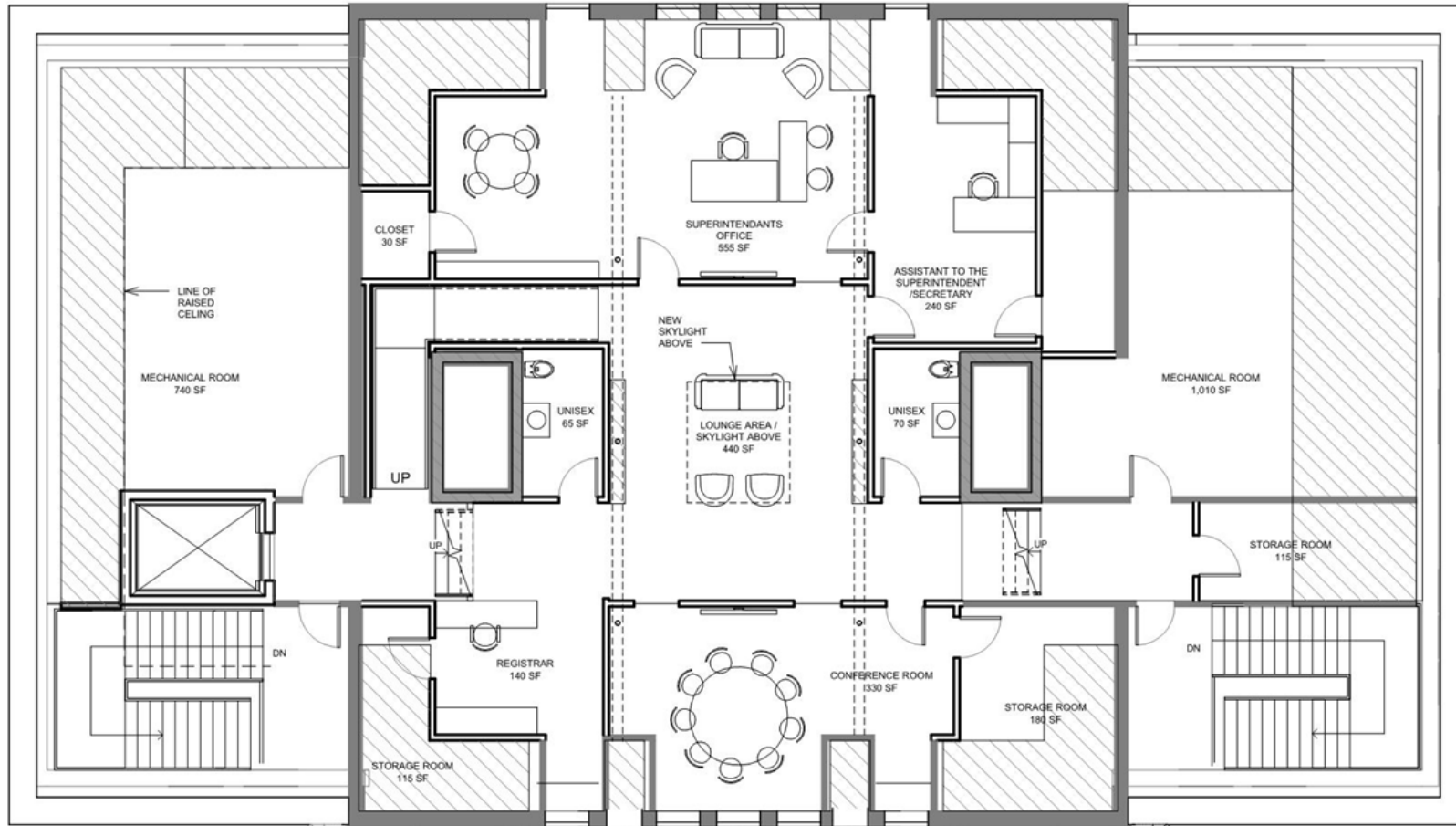
SECOND FLOOR PLAN



January 2022 - DRAFT

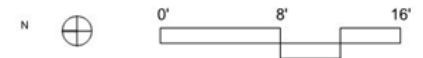


THIRD FLOOR PLAN

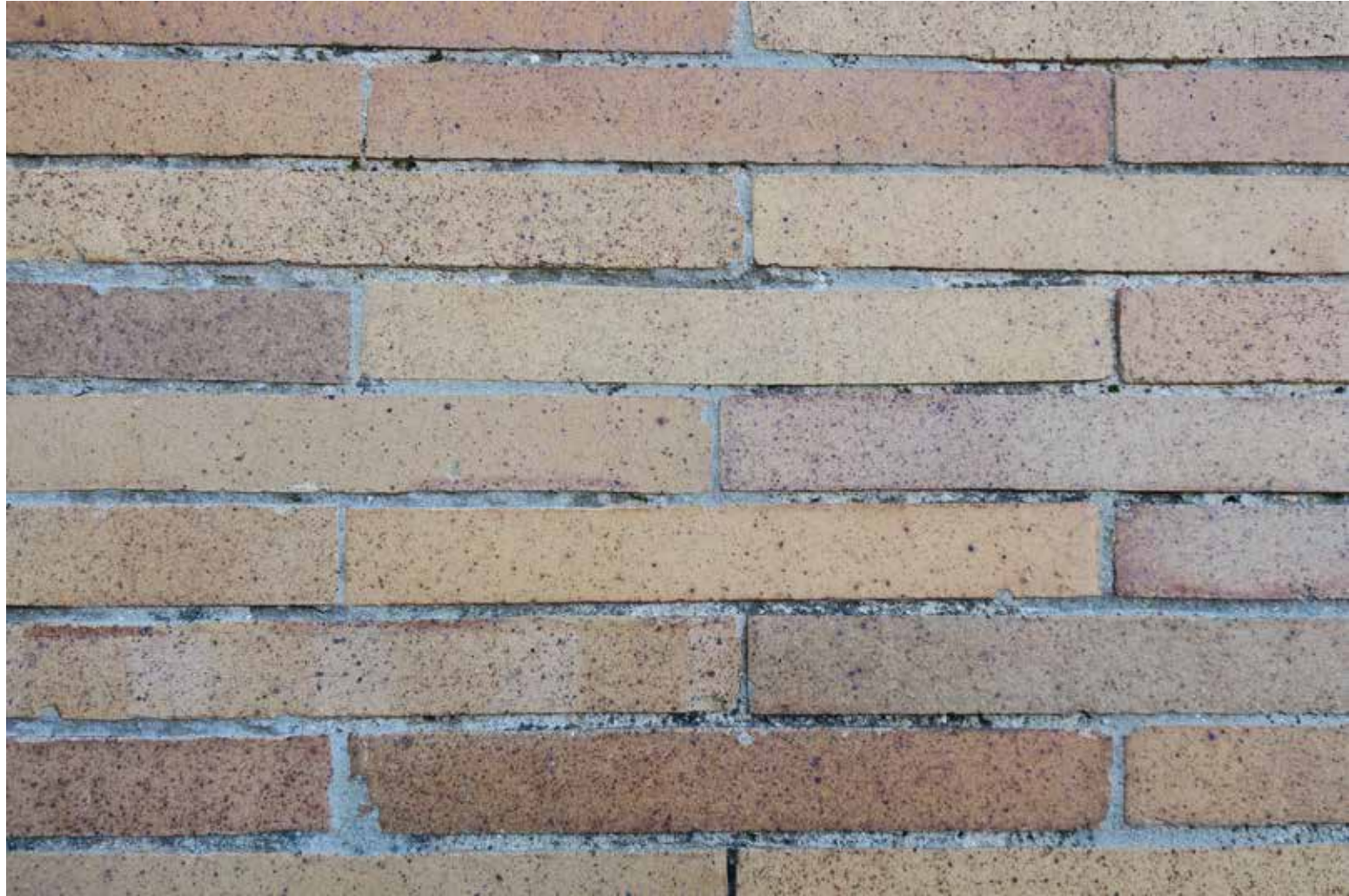


AREA OF CEILING BELOW 6'-8"

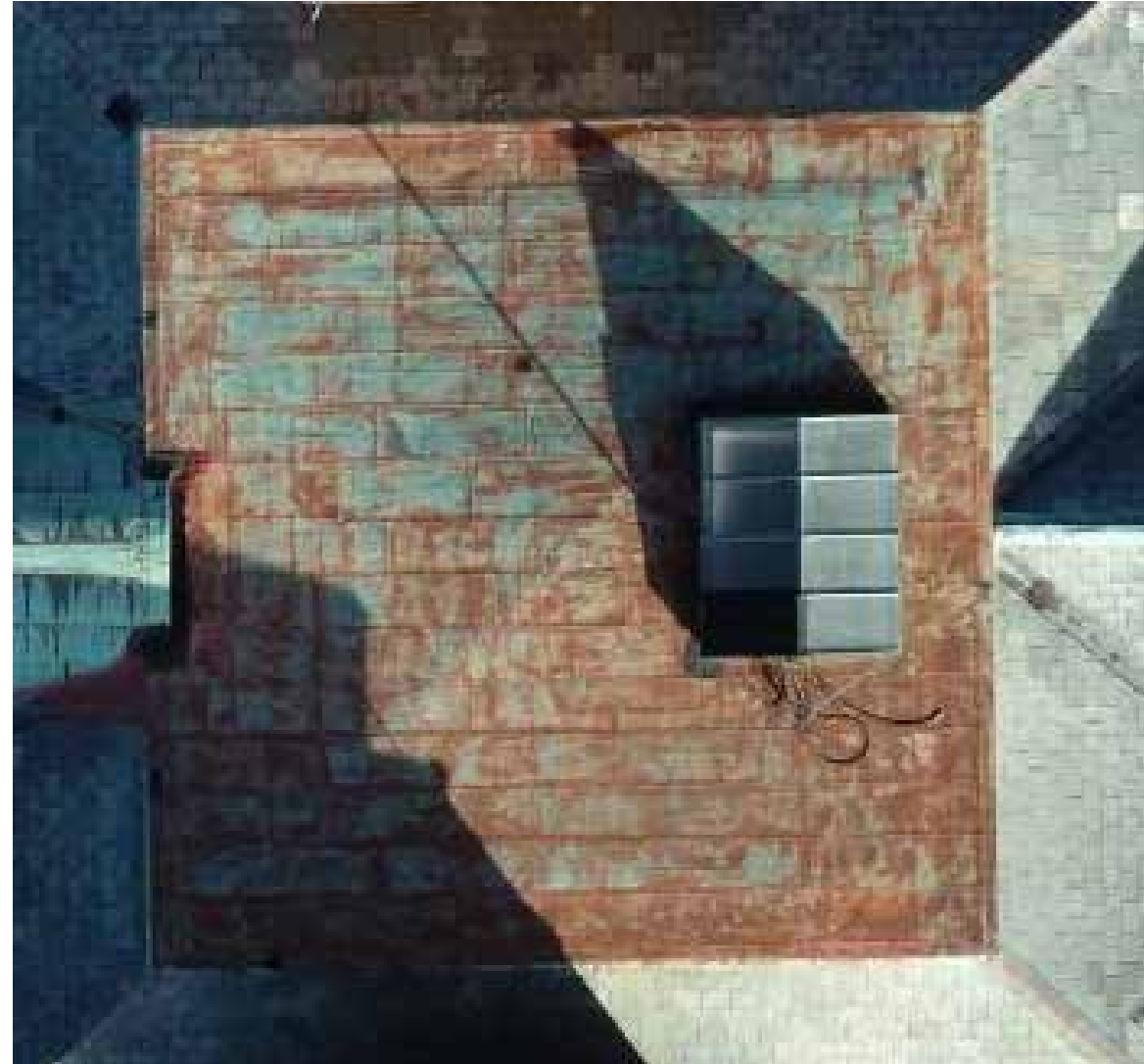
January 2022 - DRAFT



BUILDING ENVELOPE



ROOFING



View from drone

ROOFING



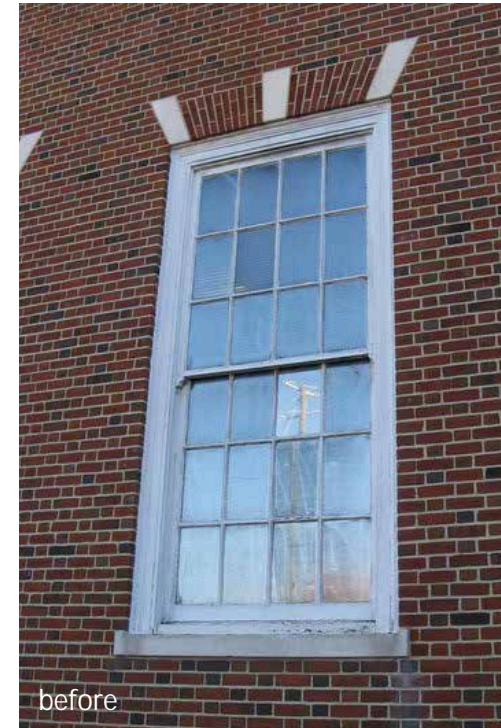
ROOF DOWNSPOUTS



WINDOWS



Existing painted wood windows with single glazing



before



after

Example of Aluminum clad with insulating glass

INTERIOR

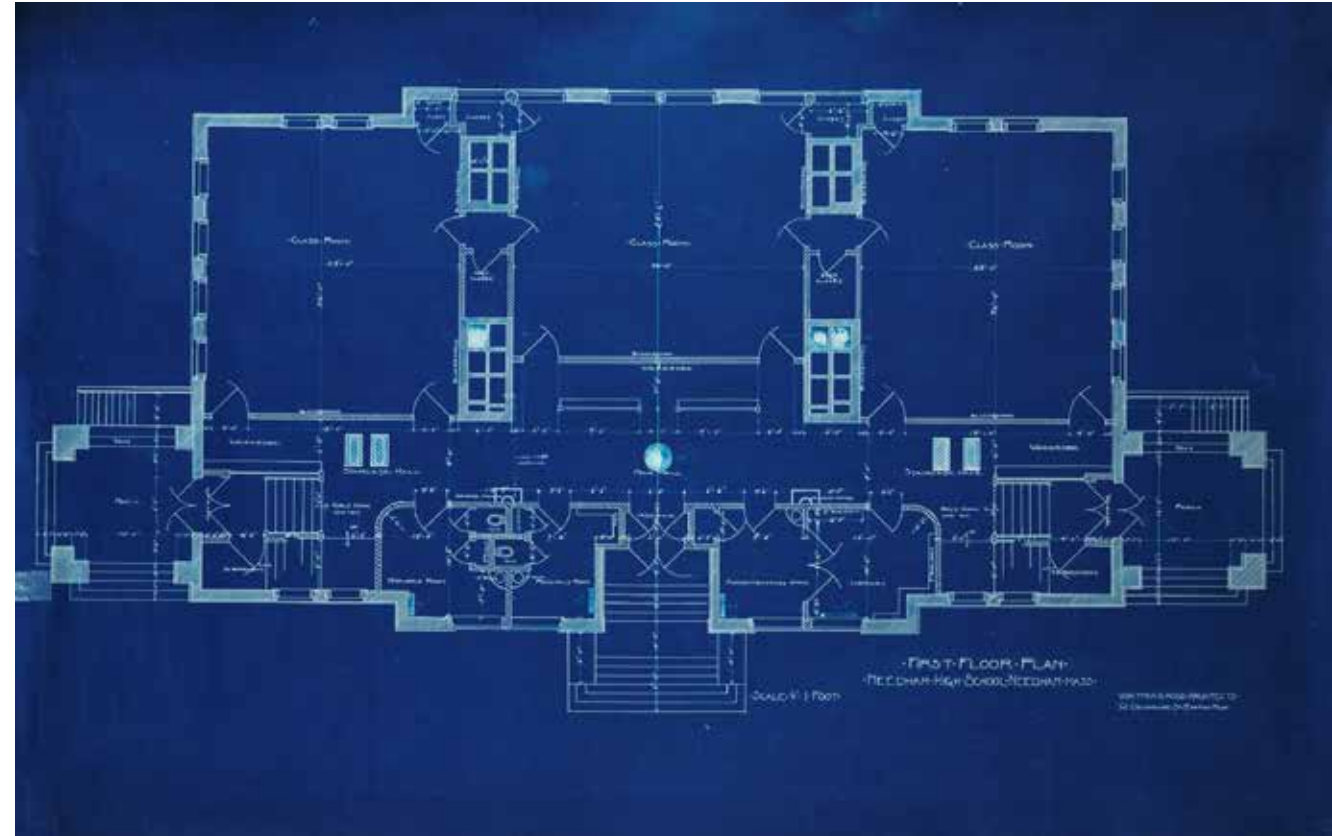


INTERIOR



Original wood floor under carpet

INTERIOR



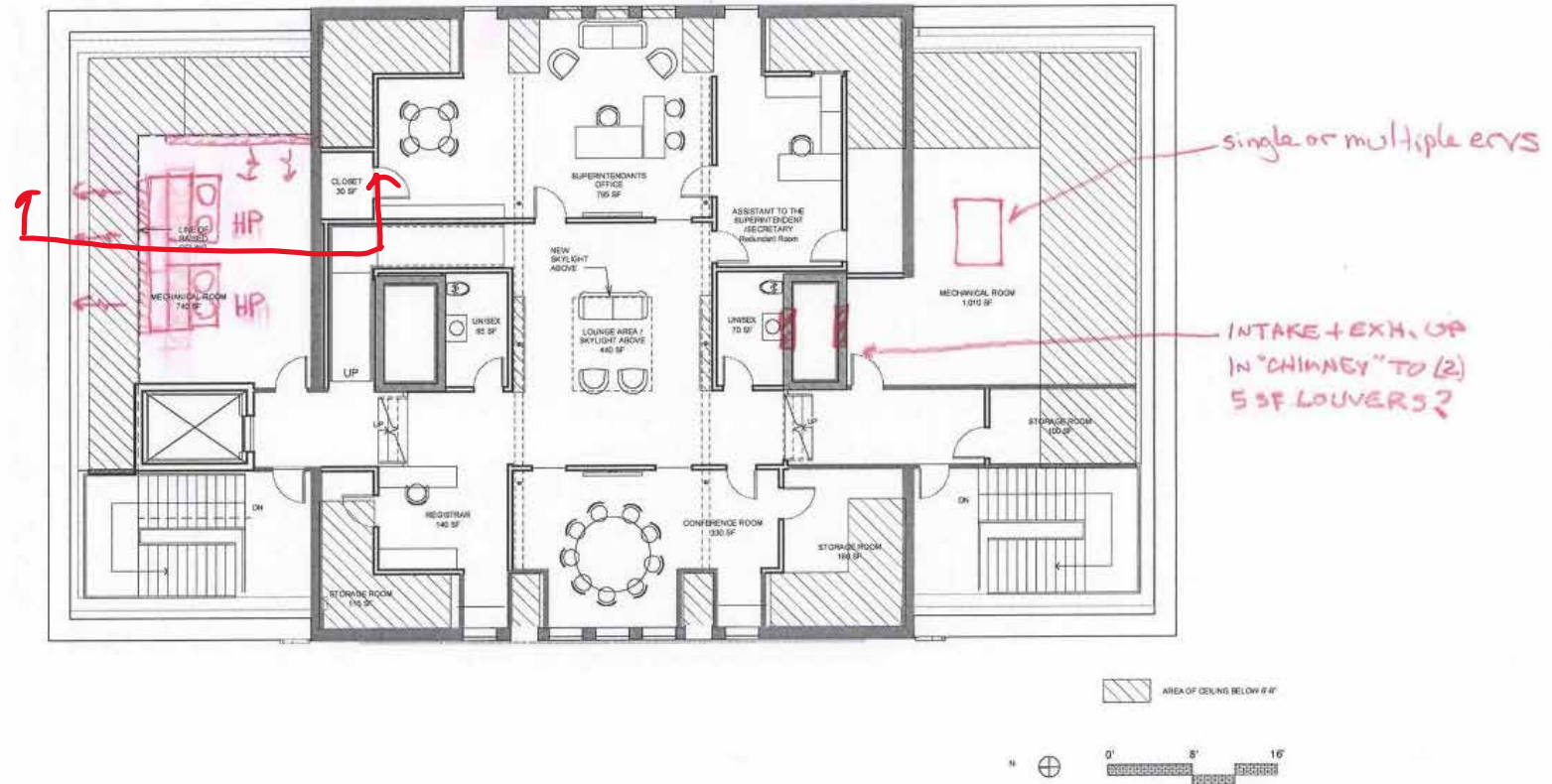
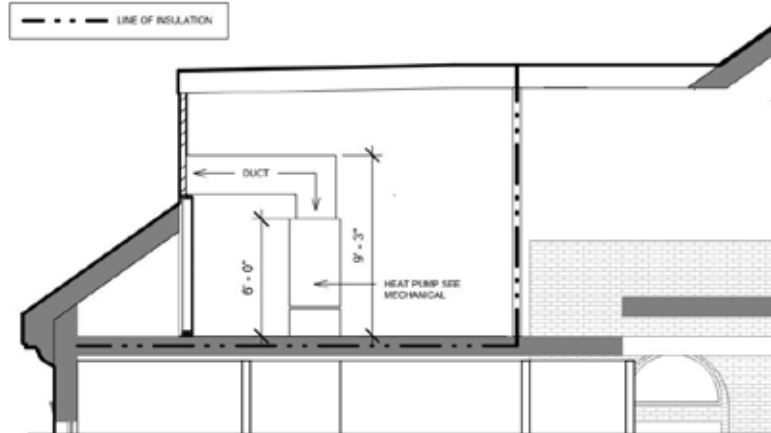
Existing wood studs with lath and plaster with original wiring

ATTIC



Existing heavy timber and metal trusses

MECHANICAL



Proposed mechanical and elevator dormer

MECHANICAL



WEST ELEVATION



CPA ELIGIBLE PROJECT COST

Emery Grover Construction Cost	\$ 13,166,000	CHA Estimate
Hillside School Renovation Cost	\$ 1,475,000	
Total Construction Cost	\$ 14,641,000	
Add IT MDF Room & Utility Back Charge	\$ 135,000	
Less Hillside Renovation Cost	\$ (1,475,000)	
Less Loading Dock & Sitework	\$ (392,000)	
CPC Eligible Construction Cost	\$ 12,909,000	
CPA Eligible Percentage of Construction Cost		88%
Total Soft Costs	\$ 2,195,000	
CPC Eligible - Soft Costs	\$ 1,783,000	
Total Contingency	\$ 3,404,000	
CPC Eligible - Contingency	\$ 2,190,000	
CPC Eligible of Total Project Cost	\$ 16,882,000	
Requested CPC Funding	\$ 6,000,000	
Total Project Funding	\$ 20,875,000	

* All numbers have been rounded

notes

- 1) The Community Preservation Committee determines the recommended amount of CPA funding the project will receive following their public meeting reviews.
- 2) Boiler replacement at Hillside ES is an additional \$275,000 as a parallel project but not included in the EG work.

CPA ELIGIBLE PROJECT COST WORKSHEET

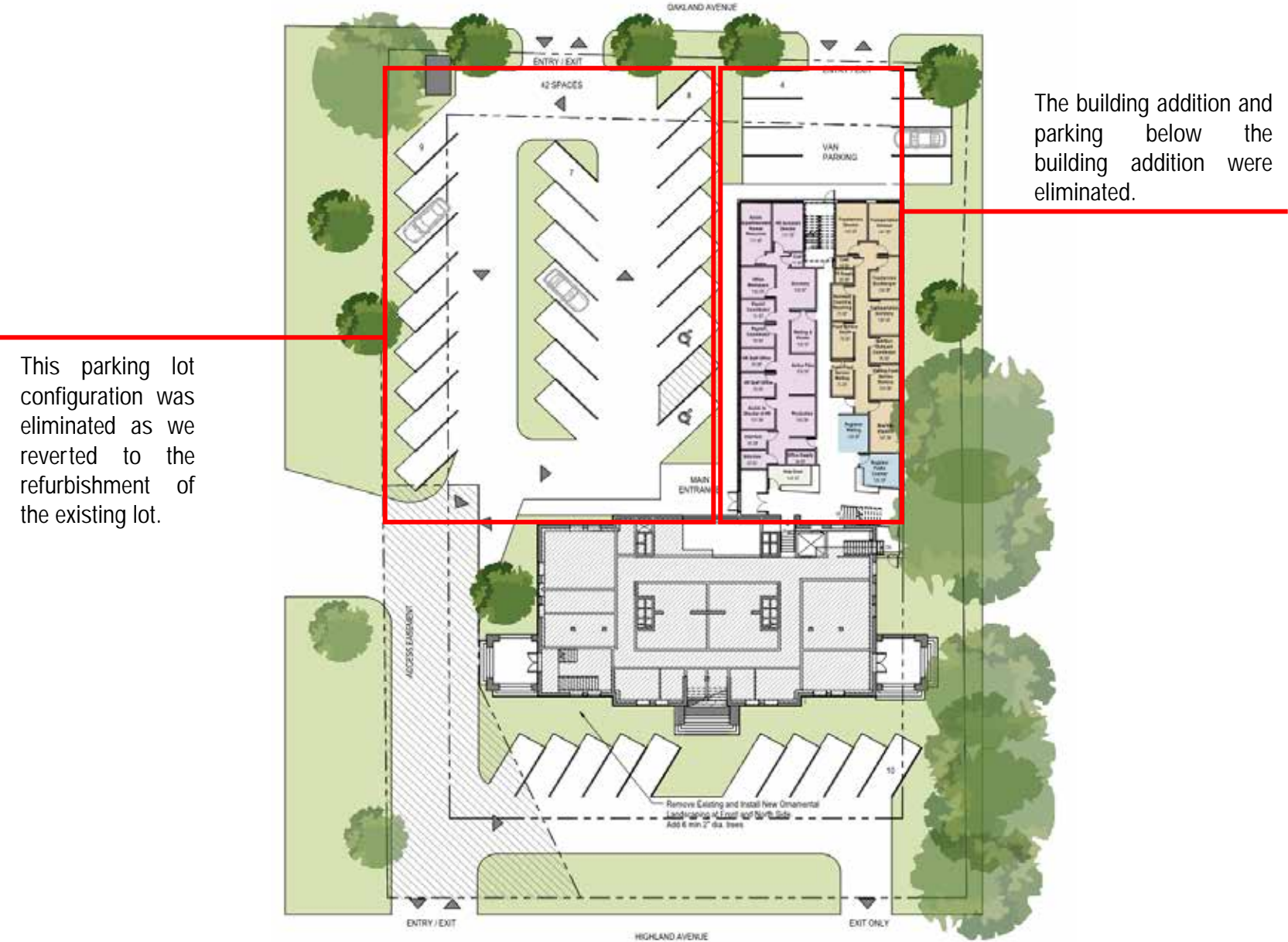
TOTAL PROJECT COST WORKSHEET	
HARD COST	
Construction Cost	
Construction Cost Estimate from CHA includes abatement temporary improvements at Hillside Elementary School	
IT, MDF room	
Solar panels on roof of addition or new construction (deleted)	
Utility Back Charge	
Furniture, Fixtures & av Equipment	
Hard Cost Subtotal	
SOFT COST	
Permits & Approvals	
Planning Board Site Plan Approval (peer review)	
Architecture & Engineering	
Architect & Engineer (% of construction cost: renovation) 10%	
A&E Reimbursables	
FF&E Specification & Purchasing 10%	
Hazmat (inspection, specification, construction monitoring)	
Environmental (ground water and soil vapor)	
Geotechnical Engineer	
Survey & Layout	
Testing & Inspections	
Concrete & Steel, Soil Inspections	
Commissioning	
Project Management	
Owner's Project Manager 2%	
Moving	
Moving Expenses including two moves for Options 1 - 2	
Advertising & Bidding	
Public Bidding: Advertising & Document Website (2 bids)	
Legal	
Other	
Bonding Costs 0.30%	
Soft Cost Subtotal	
CONTINGENCY	
Contingency	
5% Construction & 15% Owner Contingency 20%	
Project Total	
OTHER CONSIDERATIONS AND NOTES	
CPC Funding: Eligible Amount	
CPC Funding: Available Amount	

Emery Grover Renovation	
	13,166,000
	1,475,000
	100,000
	na
	35,000
	500,000
	\$15,276,000
	3,000
	1,552,000
	25,000
	50,000
	35,000
	15,000
	25,000
	40,000
	60,000
	293,000
	40,000
	10,000
	47,000
	\$2,195,000
	3,404,000
	\$20,875,000
	\$ 16,882,000
	to be determined

CHA Estimate

* All numbers have been rounded

PORTION OF THE ORIGINAL \$26M PROJECT ELIMINATED



TIMELINE

Schematic Design	December 2021 – February 2022
Planning Board	February – March 2022
Design Development	March – April 2022
Annual Town Meeting	May 2022
Construction Documents	May – September 2022
Bidding	October – November 2022
Awarding Bid	December 2022
Start Construction	January 2023
ATM progress update	May 2023
ATM progress update	May 2024
Complete Construction	July 2024
NPSA moves back into Emery Grover	August 2024